

Dilapidation Report

Pre-Construction



PROPERTY: STREET
SUBURB

JOB NUMBER: 222-XXX-XXX

PROPERTY OWNER: XXXX
XXXX

CLIENT: XXXX
XXXX

PERSON PROVIDING ACCESS: Tenant

FRONT DOOR ASSUMED TO FACE: East

WEATHER CONDITIONS: Fine and sunny

DATE AND TIME OF INSPECTION: XX-XX-20XX X:00 PM

INSPECTOR: XXXXX
BSS GROUP PTY. LTD.
DipBuildingDesign, MBDV,
Building & Design Consultant



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CONDITIONS

CLIENT BRIEF:

Provide a dilapidation report on the above property and in particular to note movement or water damage, cracking defects or disrepair (both internal and external) existing at the time of the inspection.

THIS REPORT:

A listing of defects/comments has been prepared on an area by area basis and is provided in the attached:-

Schedule One: Photographs & observations

CONDITIONS:

The general scope and conditions of the report are contained in Attachment B.

ACCESS:

Some areas were not able to be fully viewed or were not viewed/accessed at all:-

- Items of stored goods, furniture, etc. obscured some internal areas.
- Where drapes, curtains, or blinds obscure window/door reveals and/or window/door frames, the window/door dressings are not shifted, lifted or pulled to one side. In these circumstances such window/doors are not accessed for interior viewing.
- Where rooms are carpeted or have rugs, these are not lifted.
- No access was made to any sub-floor area or roof space.
- Roof was not viewed as a part of this inspection due to height and type of roof.
- External side of wall(s) on boundary not accessed along west boundary due to building abutting neighbouring property.
- Some wall areas hidden from view by shrubs, items of stored goods and the like were not viewed.

ASSISTANCE IN READING REPORTS:

Some guidance is provided in Attachment A to assist the reader in understanding and reading reports.

CONSENT TO ACCESS PROPERTY

Consent to access the property was obtained from the Owner/Occupier by BSS Group Pty. Ltd.

CONSTRUCTION DETAILS:

- | | |
|---------------------------------------|---------------------------|
| - Footing type: | Concrete slab |
| - Stumps: | Not applicable |
| - Primary external cladding material: | Concrete panels and metal |
| - Primary internal lining material: | Plaster |
| - Primary window frame material: | Aluminium |
| - Roof cladding: | Metal |
| - Floor: | Concrete slab |
| - Any renovations underway? | No |

Fence facing works area:	Wire mesh
Other fences:	Wire mesh
Driveway:	Concrete

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Property is:

Tenanted

Property is currently used as:

Warehouse and Office

SUMMARY

The subject building is a warehouse with office considered in overall fair condition. The report advises cracking to concrete slabs with some damage to metal cladding as well as cracking to concrete panels.

XXXXX

BSS GROUP PTY. LTD.

**DipBuildingDesign, MBDAV,
Building & Design Consultant**

Encl: Schedule One: Photographs and observations
 Attachment A: Guide to reading reports
 Attachment B: BSS inspection report conditions - dilapidation

Dilapidation Report

PRE-CONSTRUCTION



Schedule One: Photographs and observations



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FRONT OF PROPERTY

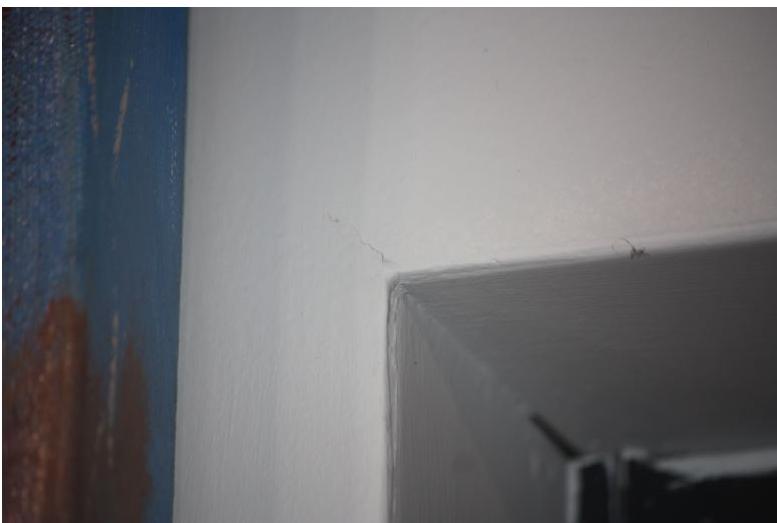


IMG_09981.JPG

**INTERIOR
OFFICE/RECEPTION**

View to wall at top LH corner of sliding door to outside.

Vertical crack in wall running for a height of approx. 20mm, hairline.



IMG_09982.JPG

View to wall at top LH corner of north most window in west wall.

Diagonals crack in wall running for a length of approx. 10mm, hairline.



IMG_09983.JPG

EAST FACTORY AREA

View to sarking at SE corner of area.

Visible damage to sarking. Similar occurring elsewhere.

See additional photo.



IMG_09984.JPG

Further photo of above.



IMG_09985.JPG

View to concrete panel wall at top RH corner of pedestrian door in north wall.

Visible crack running up from top of door to top of concrete panel. Similar occurring at top left of door, hairline.

See additional photo.



IMG_09986.JPG

Further photo of above.



IMG_09987.JPG

View to concrete slab at middle of area.

Visible scuff marks in slab.

See additional photos.

Typical.



IMG_09988.JPG

Further photo of above.



IMG_09989.JPG

Further photo of above.



IMG_09990.JPG

Further photo of above.



IMG_09991.JPG

WEST FACTORY AREA

View to concrete slab at middle of area.

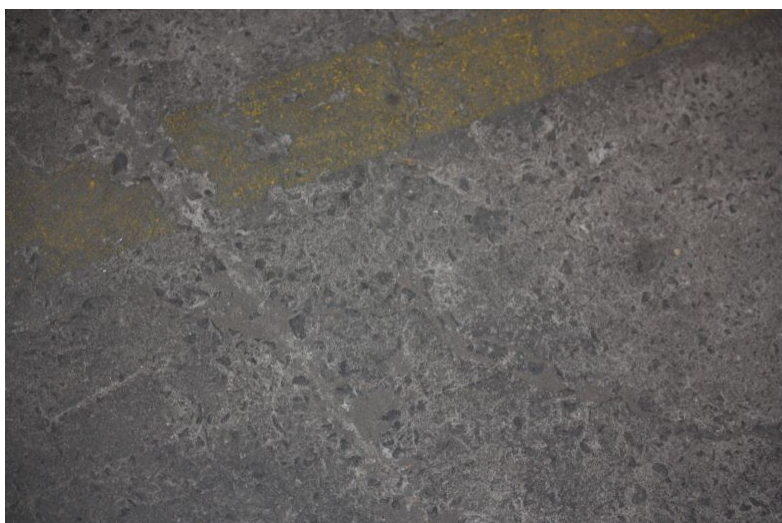
Cracking in slab running in a SW direction to 5mm.

See additional photo.



IMG_09992.JPG

Further photo of above.



IMG_09993.JPG

View to concrete slab approx. 5 metres west of square opening in east wall.

Visible cracking in slab running in 3 directions, hairline to 3mm.



IMG_09994.JPG

View to concrete slab at NW corner of area.

Visible cracking in slab running in a NW SE, hairline to 3mm.

See additional photo.



IMG_09995.JPG

Further photo of above.



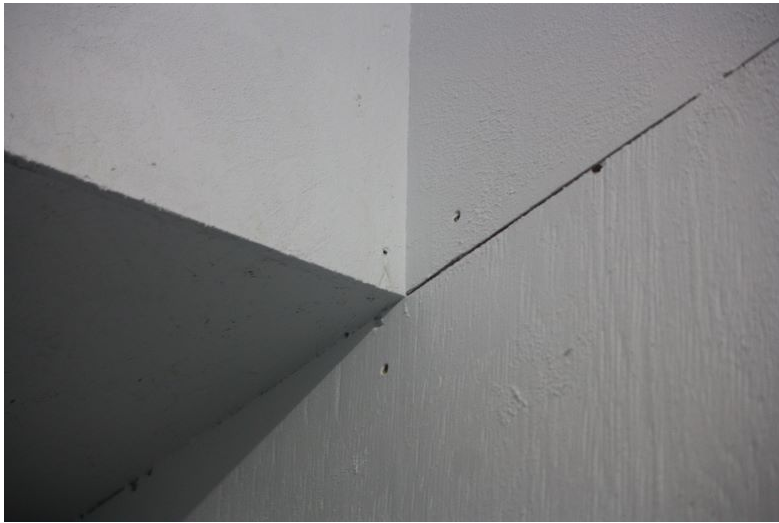
IMG_09996.JPG

View to concrete slab at north side of area.
Visible cracking running in a east direction
with also damage to edge of concrete slab,
hairline to 1mm.



IMG_09997.JPG

KITCHENETTE AREA
View to concrete slab at middle of area.
Cracking of slab running east to west,
hairline to 1mm.



IMG_09998.JPG

WEST TOILET

View to square set cornice at NE corner of area.

Visible separation between wall panelling, 1mm to 2mm maximum.

A number of nail pops also visible, typical to walls.



IMG_09999.JPG

View to concrete slab to the south of door to west toilet.

Cracking in slab running full width of room, hairline.



IMG_10001.JPG

EAST TOILET

View to wall panelling above toilet.

Separation between wall panelling, hairline to 1mm. With differential movement to 4mm at top of panelling. Similar occurring elsewhere.



IMG_10002.JPG

MEZZANINE FLOOR

View to flooring at east side of mezzanine.
Visible gap between floor panelling to 5mm.



IMG_10003.JPG

EXTERIOR

SOUTH ELEVATION AND SURROUNDS

View to wall cladding at top LH corner of roller door at SW corner of building.
Visible rust to underside of panelling.



IMG_10004.JPG

View to top of cyclone fencing at middle of south side of property.

Visible barb wire damaged. Mesh ins fence showing rust with areas of damage.
See additional photo.

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Further photo of above.

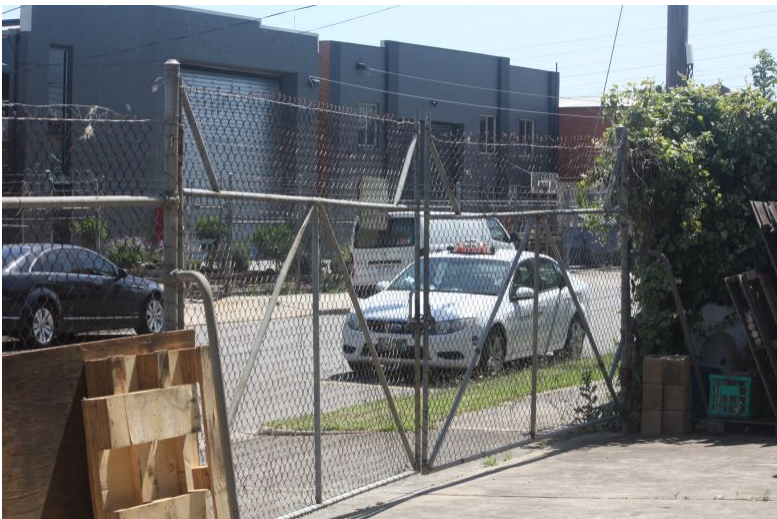


IMG_10006.JPG

View to double gate at SW corner of property.

Gate generally in fair condition. Some areas of damage visible to mesh with rust in areas.

See additional photos.



IMG_10007.JPG

Further photo of above.





IMG_10008.JPG

Further photo of above.



IMG_10009.JPG

View to metal cladding at RH side of pedestrian door in south elevation.

Visible damage to metal cladding, cause unknown.



IMG_10010.JPG

EAST ELEVATION AND SURROUNDS

View to top of concrete panel wall at SE corner of property.

Visible cracking to caulking between panels with separation to 15mm at top of panel wall.



IMG_10011.JPG

View to down pipe at SE corner of property.

Visible connection to down pipe loose.



IMG_10012.JPG

View to caulking joint between concrete panels below last.

Visible separation between caulking/concrete panel to 3mm.



IMG_10013.JPG

View to concrete apron below down pipe at SE corner of property.

Visible cracking in concrete apron, 2mm - 3mm maximum.



IMG_10014.JPG

View to concrete panel at top RH corner of door to pedestrian door in east elevation.
Vertical crack running from top of door to underside of metal cladding, hairline.



IMG_10015.JPG

View to concrete apron at bottom right corner of pedestrian door.
Visible crack in apron, hairline to 3mm.



IMG_10016.JPG

View to wire mesh at northern end of double gate at east side of property.
Visible damage to wire meshing. Cause unknown.

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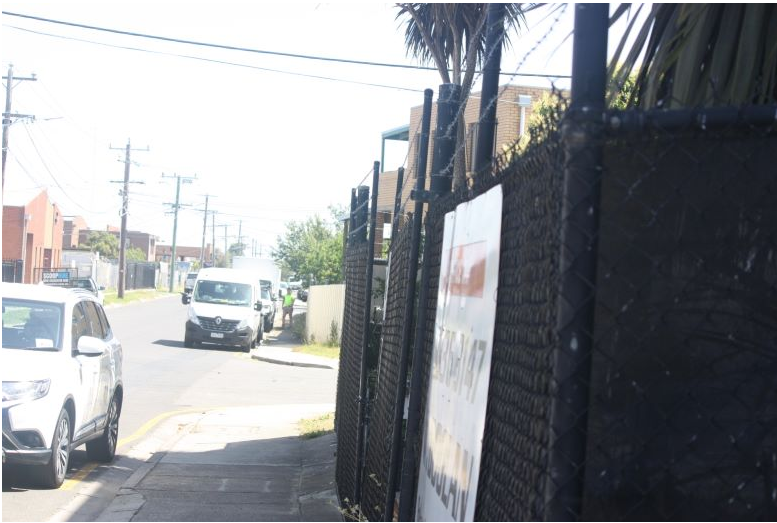
PRE-CONSTRUCTION



IMG_10017.JPG

View to wire mesh fence at east side of property.

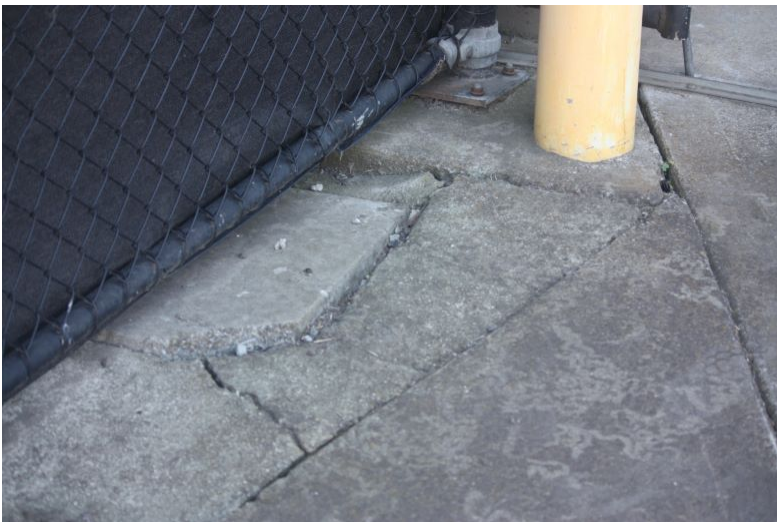
Fence slightly leaning west off plumb to 150mm.



IMG_10019.JPG

NORTH ELEVATION AND SURROUNDS
View to concrete paving at NE corner of building.

Visible cracking in paving and settling, cracking hairline to 5mm.



IMG_10020.JPG

View to concrete drive at middle of sliding gate.

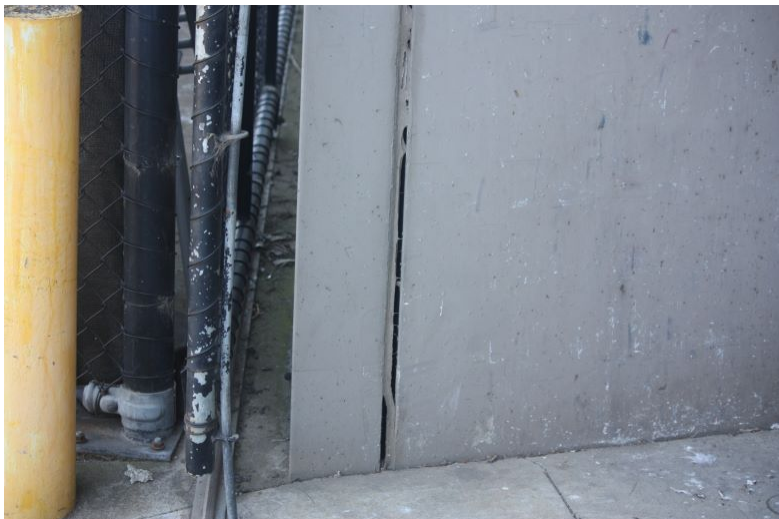
Visible cracking running east to west to full width of concrete panel, hairline to 2mm. Cracking also spreads out south. See additional photo.





IMG_10021.JPG

Further photo of above.



IMG_10022.JPG

View to caulking of joint at NE corner of building.

Visible separation at caulking/panel at 10mm running full height of concrete panel intermittently.



IMG_10023.JPG

View to concrete drive at SE corner of driveway.

Visible cracking in drive running north-south and running out in a NE direction, hairline to 1mm.



IMG_10024.JPG

View to concrete panel at top LH corner of north pedestrian door.

Cracking running up from top of door frame to underside of metal cladding, hairline.



IMG_10025.JPG

View to concrete drive at west side.

Visible cracking running north-south from middle control joint, hairline. Similar occurring elsewhere.

See additional photos.



IMG_10026.JPG

Further photo of above.



IMG_10027.JPG

Further photo of above.



IMG_10028.JPG

View to concrete drive at NW corner of awning.

Cracking in drive running north-south, hairline to 1mm. Similar occurring at east side of driveway also. See additional photos.



IMG_10029.JPG

Further photo of above.



IMG_10030.JPG

Further photo of above.



IMG_10031.JPG

Further photo of above.



IMG_10032.JPG

View to concrete paving at middle of drive running east-west to full length of property.

Cracking spreading out in all directions, hairline to 1mm.



IMG_10033.JPG

View to metal cladding at bottom left corner of double doors at NW corner of factory.

Visible damage to cladding of wall and door. Cause unknown. Similar occurring to the east in this area.

See additional photo.



IMG_10034.JPG

Further photo of above.

The following is provided for your assistance in reading reports...

Cardinal directions used

The front of the subject building is assumed to face one of the cardinal points, north, south, east or west (rather than for instance north east, or north, north west). This assumed direction is given on the front page.

Room and external elevation condition

Reports list all rooms and external elevations (front elevation, etc.). Where the room/elevation is defective, defects are listed for that location. If no defect is found, a photo will be taken for reference purposes only.

Descriptions of Movement Signs

Cracks and separations are generally inconsistent and are described and denoted a maximum width. The location is described and is commonly cornice/wall, cornice/ ceiling, window head, door, etc. some common descriptions are: -

- Cracking- diagonal, horizontal, stepped, random.
- Cracking – usually a multitude of fine cracks in a random pattern.
- Hairline – relate to cracks 'less than 1mm'. These are difficult to photograph.
- Intermittent - not continuous.
- Patched cracking – surface ridges evident from poor previous repairs.
- Previous or present leaks – these are difficult to photograph.

The text needs to be read in conjunction with photos. Occasionally no photo is taken but the defect is described (e.g door will not close, or floor squeaking, floor obviously slopes or the same defect occurs in more than one location). Some photographs may be included that may not depict a defect but have been taken for future reference purposes

Scale of subjects in photos

Where practicable a scale measure is shown in the photo where a fixed object giving scale is not visible. In others a fixed object (such as cornice, tile grout joint, etc.) included in the photo naturally provides scale.

In most instances the text provides important information such as location, approximate maximum crack or separation width, termination point, shape, characteristic (e.g stepped, forked) etc. which helps to provide detail, assistance in understanding scale and clarity.

Photo number sequence

Photo quality is checked by the inspector while on site. Sometimes photos are deleted with the reason being that very occasionally a photo is found to be badly blurred, very overexposed, underexposed, taken without a flash or is a duplicate. The next photo taken addresses any problem or blurring, exposure etc. The cameras used by BSS do not however delete the photo *number* of any deleted photo and the photo sequence in the report may therefore show an occasional gap (e.g P123 0415, P123 0417 (with the deleted photo being P123 0416 in this example). Deleting a photo does not affect the scope of the inspection or detail provided in the report.

SPECIAL CONDITION DURING THE COVID-19 PANDEMIC

The use of a gauge or ruler in our report photographs has been minimised to reduce physical touching on site.

1. Client brief

The report describes the condition of those elements of the property described in the client brief and lists visible defects specified.

2. Weather conditions

The building / site has been inspected on the date and in the prevailing weather and environmental conditions.

3. Report exclusions:

Defects

- (a) in inaccessible parts of the building,
- (b) not apparent on visual inspection,
- (c) apparent only in different weather or environmental conditions,
- (d) resulting from different uses of the building,
- (e) minor (eg. very fine hairline cracks, jamming windows, etc),
- (f) outside the scope of the client brief.

4. Unless otherwise specified:

- (a) no soil, etc, has been excavated nor has any investigation of sub ground drainage been made,
- (b) no vegetation has been removed,
- (c) no fixtures, fittings, cladding or lining materials have been removed,
- (d) no items of furniture or chattels have been moved, nor cupboards been opened,
- (e) no enquiries of Councils or other Authorities or persons have been made,
- (f) we do not inspect the roof, roof space or sub-floor,
- (g) no special investigation of insect attack (eg. borer, termite, etc) asbestos or soil contamination has been made and any reference to these has been based on a casual visual inspection.